

# PLANNING COMMISSION REPORT



MEETING DATE: July 13, 2005

ITEM NO. \_\_\_\_\_ GOAL: Coordinate Planning to Balance Infrastructure

**SUBJECT** **Scottsdale & Lone Mountain - 23-ZN-2004**

**REQUEST** Request for site plan and stipulation amendments from previous county/city approval on a 14.7 +/- acre parcel located at the southeast corner of Scottsdale Road and Lone Mountain Road with Planned Commercial Center, Environmentally Sensitive Lands, Hillside District (PCC ESL HD) zoning.

**Key Items for Consideration:**

- The applicant requests a new commercial site plan to respond to the market.
- There are neighborhood concerns regarding building location, height, and access into the neighborhood.

**Related Policies, References:**

- Scenic Corridor Policy (Scottsdale Road)
- City Zoning Case 36-Z-84 established zoning for recently annexed property to maintain County development approval.
- County Zoning Case Z 82-57 approved a Neighborhood Unit Plan of Development.

**OWNER** Optima I Investments LLC  
949-725-3060

**APPLICANT CONTACT** Gary Pederson  
Pederson Group Inc  
602-265-2888

**LOCATION** Southeast corner of Scottsdale Road and  
Lone Mountain Road



**BACKGROUND**

**Zoning.**

The 14.7-acre property was zoned the Planned Commercial Center, Environmentally Sensitive Lands, Hillside District (PCC ESL HD) in 1984 (Case 36-Z-84), soon after it was annexed into the City. The zoning was approved along with the planned developments previously approved by the County (County Case Z 82-57). This property was part of a 300-acre Neighborhood Unit Plan of Development (NUPD), which included both commercial and residential uses. The approved NUPD showed specific site plans for the commercial and residential development (See Previous County Action and Site Plan Attachment #10; and Previous City Action Attachment #11).

**General Plan.**

The General Plan Land Use Element designates the property as Commercial, which includes commercial centers serving the surrounding neighborhood and the community.

**Context.**

The site gradually slopes from the northeast to the southwest, and a major wash runs through the northwest corner of the site. Abutting the property to the east and south are open space tracts that are part of the Bellasera residential community (zoned O-S ESL HD and R1-18 ESL HD Districts). There is an existing street stubout from the Bellasera community to this property via E. Balao Drive at the southeast corner of the site. To the north is the Whisper Rock residential community (zoned R1-43 ESL District), and to the west are large single-family residential lots (zoned Single Family Residential with Environmentally Sensitive Lands and Foothills Overlay District; R1-70 ESL FO).

**APPLICANT'S  
PROPOSAL****Goal/Purpose of Request.**

This is a request to amend the original commercial site plan that was approved in 1984 and was part of the planned developments previously approved by the County (County Case Z 82-57). The original commercial site plan has 109,000 square feet of commercial space, with the majority of the shops surrounding a central courtyard. Parking surrounds the perimeter of the shops, and access is provided from Lone Mountain Road, Scottsdale Road, and Wildcat Drive to the south into the residential development. The original site plan provides a 110-foot desert buffer along Scottsdale Road as a Scenic Corridor, and was originally stipulated to eliminate commercial ingress and egress from Scottsdale Road. A thirty (30) foot maximum building height was shown, with tower elements reaching 40 feet in height. (See Previous County Action and Site Plan Attachment #10)

The applicant is proposing a commercial site plan that has 100,080 square feet of commercial space. The proposed site plan shows the majority of the parking located in front of the anchor market, with shops flanking the market and pads surrounding the parking field. The proposed site plan is also providing a larger scenic corridor on Scottsdale Road, and buildings away from the wash located at the northwest corner of the site. The proposed site plan provides access from both Lone Mountain Road and Scottsdale Road, and shows no vehicular connection to the residential development to the southeast. (See Proposed Site Plan Attachment #12)

After working closely with the surrounding neighborhood, the applicant is proposing a maximum building height of twenty eight (28) feet for the anchor market building, with no tower elements exceeding the 28-foot maximum. Shops and pads will have buildings not to exceed 24 feet in height. The proposed building heights are measured from finish floor elevation, however buildings are normally measured from natural grade in the ESL District. At the time of review by the Development Review Board, finish floor grades will be compared with natural grade to maintain the intent of the building height limitations.

Changes from the 1982 site plan are summarized in the table below:

**Site Plan Comparison Table**

<b>Development Detail</b>	<b>1984 Approved Site Plan</b>	<b>2005 Proposed Site Plan</b>
Commercial Floor Area	109,000 sq.ft.	100,080 sq.ft.
Access to Scottsdale Road	None permitted	2 driveways
Access to Lone Mtn Road	1 driveways	1 driveway
Access to adjacent residential streets	2 driveways	None
Scottsdale Rd. width	65-foot half-width	75-foot half-width
Lone Mtn. Rd. width	55-foot half-width	55-foot half-width
Scottsdale Rd. Scenic Corridor	Minimum 110 feet Maximum 140 feet	Minimum 85 feet Average 136 feet Maximum 280 feet
Lone Mtn. Rd. Buffered Setback	Minimum 25 feet Maximum 60 feet	Minimum 30 feet Average 110 feet Maximum 219 feet
East Building Setback	Minimum 40 feet	Minimum 70 feet
East Landscaped Buffer	Minimum 10 feet	Minimum 30 feet
South Building Setback	Minimum 80 feet	Minimum 75 feet
South Landscaped Buffer	Minimum 10 feet	Minimum 30 feet
Building Height (from finished floor (FF))	24-foot shops (FF) 30-foot market (FF) 40 foot towers (FF)	24-foot shops/pads (FF) 28-foot market (FF) Heights include towers
Desert Buffer/NAOS	152,000 sq.ft.	180,000+ sq.ft.
Parking	466 spaces	506 spaces

## IMPACT ANALYSIS

### Site Plan

The purpose of the PCC District is to provide for a larger variety of goods and services than is normally found in a typical neighborhood shopping center. The proposed site plan exceeds all of the required setbacks of the PCC district, and provides greater setbacks from surrounding streets and property lines than the original site plan in a majority of instances. Overall floor area and building heights are comparable, however there are 82 more parking spaces provided on the proposed plan than the original plan.

The PCC District also requires centers to be oriented toward a courtyard, which can be waived if a suitable alternative design solution is presented. Instead of buildings surrounding a courtyard, as shown on the original site plan, the applicant proposes a site plan with buildings oriented toward a large parking field. However, large courtyards are proposed between shops and pads shown on the site plan, and wide pedestrian connections along the building fronts provide possible patio connections between courtyards.

The PCC District also is intended to promote a more economical and efficient use of the land by permitting residential uses to allow a balance of day and nighttime activity. Although neither the original plan nor the proposed plan shows residential uses, the original plan provided a connection to the south into the residential development. There is an existing street stubout from the Bellasera community to this property via E. Balao Drive at the southwest

corner of the site, which would allow efficient neighborhood access if extended into the site. However, it has been indicated by some of the adjacent residents that the access connection is not desirable. There have been successful connections made between commercial developments and residential neighborhoods in the past, including the private gated connection at the Terravita subdivision (Amber Sun Drive near Scottsdale Road and Carefree Highway). The connections reduce traffic on major roads by providing convenient local access to the neighborhood. Staff has stipulated that, at a minimum, the developer provide a strong pedestrian connection to the neighborhood.

**Traffic.**

Scottsdale Road is designated as a major arterial roadway, and Lone Mountain Road is designated as a minor arterial roadway. Access to the site is proposed to be provided from both roadways, which is typical for commercial developments at the intersection of two major streets. In the vicinity of the site, neither Scottsdale Road nor Lone Mountain Road has been constructed to its ultimate cross section. Scottsdale Road is constructed to two lanes in each direction with a center turn lane. Lone Mountain is constructed with only one lane in each direction. Current traffic volumes adjacent to the site are the following: Scottsdale Road - 21,500 vehicles; Lone Mountain Road – 4,300; Scottsdale Road and Lone Mountain Road intersection – 26,000.

In addition to constructing auxiliary lanes at the site driveways to facilitate access to the proposed development, the developer will be required to pay in-lieu fees toward future street improvements. Some of the in-lieu fees will likely be utilized to construct eastbound and westbound left turn lanes at the Scottsdale Road and Lone Mountain Road intersection. Pedestrian and trail access will be provided along Scottsdale Road and Lone Mountain Road.

The street system for the Bellasera community included a connection to this property via E. Balao Drive at the southwest corner of the site. This connection, if extended, would allow neighborhood access to the support commercial land uses without having to travel on the adjacent arterial streets. The applicant has offered to provide a gate on this connection to prevent public access into the gated community. However, it has been indicated by some of the adjacent residents that the access connection is not desirable. Staff has stipulated that, at a minimum, the developer provide a strong pedestrian connection to the neighborhood.

Overall floor area and access to the site is comparable with the original approval, so the proposed development plan is not anticipated to represent an increase in site generated traffic. It is anticipated that the site will generate 6,920 daily trips with 160 trips in the a.m. peak hour and 640 trips in the p.m. peak hour.

**Water/Sewer.**

Amending the site plan as proposed will have no impact on water and sewer services. It is the developer's responsibility to extend water and sewer service to serve this development.

**Police/Fire.**

Amending the site plan as proposed will have no impact on police or fire services.

**Drainage.**

The proposed site plan provides a significantly larger setback at the northwest corner of the site than did the original site plan, which moves buildings away from the major wash located at the northwest corner of the site. The foundations for buildings located at the northwest corner of the site will likely need to be raised above the flood zone.

**Open space, scenic corridors.**

The proposed site plan provides larger buffered setbacks around the perimeter of the property than the original site plan, and provides over 28,000 square feet in additional natural area open space. Instead of buildings surrounding an open space courtyard, the proposed site plan provides large courtyards between shops and pads, and wide pedestrian connections along the building fronts provide possible patio connections between courtyards.

**Community Involvement.**

The site has been posted with information signs, surrounding property owners have been notified, the applicant held an open house, and the applicant has met with concerned parties. There have been numerous letters submitted expressing concerns with the proposed site plan, expressing objections to building locations and height, excess parking, and access into the neighborhood. In response to those concerns, the applicant has continued to meet with concerned citizens and the Bellasera Community. Also in response to those concerns, the applicant made changes to the site plan that include: refinement and reduction of the buildings heights; relocation of the anchor market; reduction in the number of parking spaces; and improved open space and pedestrian connections. (see Citizen Involvement Attachment #8).

The adjacent neighborhood has indicated they do not want to have a street or pedestrian connection to this project, even if controlled by gates. If no vehicular connection is provided, the existing asphalt stub at Balao Drive can be removed and revegetated as open space.

**Key Issues.**

- Building heights and locations
- Access into the adjacent neighborhood
- Excess parking

**Community Impact.**

The amended site plan is intended to respond to the market conditions and provide larger buffered setbacks around the perimeter of the property than the original site plan. Amending the site plan as proposed will have no significant impact on traffic, police, fire, or other infrastructure services. The applicant has worked closely with the adjacent Bellasera neighborhood and has modified their original proposal in an effort to have the neighborhood embrace the proposal. At the time this report was written, there continues to be opposition by at least one neighbor.

STAFF  
RECOMMENDATION      **Recommended Approach:**  
Staff recommends approval, subject to the attached stipulations.

RESPONSIBLE  
DEPT(S)      **Planning and Development Services Department**  
Current Planning Services

STAFF CONTACT(S)      Tim Curtis, AICP  
Project Coordination Manager  
480-312-4210  
E-mail: tcurtis@ScottsdaleAZ.gov

APPROVED BY      \_\_\_\_\_  
Tim Curtis, AICP  
Report Author

\_\_\_\_\_  
Lusia Galav, AICP  
Interim Current Planning Director

- ATTACHMENTS
1. Applicant's Narrative
  2. Context Aerial
  - 2A. Aerial Close-Up
  3. Land Use Map
  4. Zoning Map
  5. Stipulations
  6. Additional Information
  7. Citizen Involvement
  8. City Notification Map
  9. Correspondence
  10. Previous County Action with Site Plan
  11. Previous City Action
  12. Proposed Site Plan

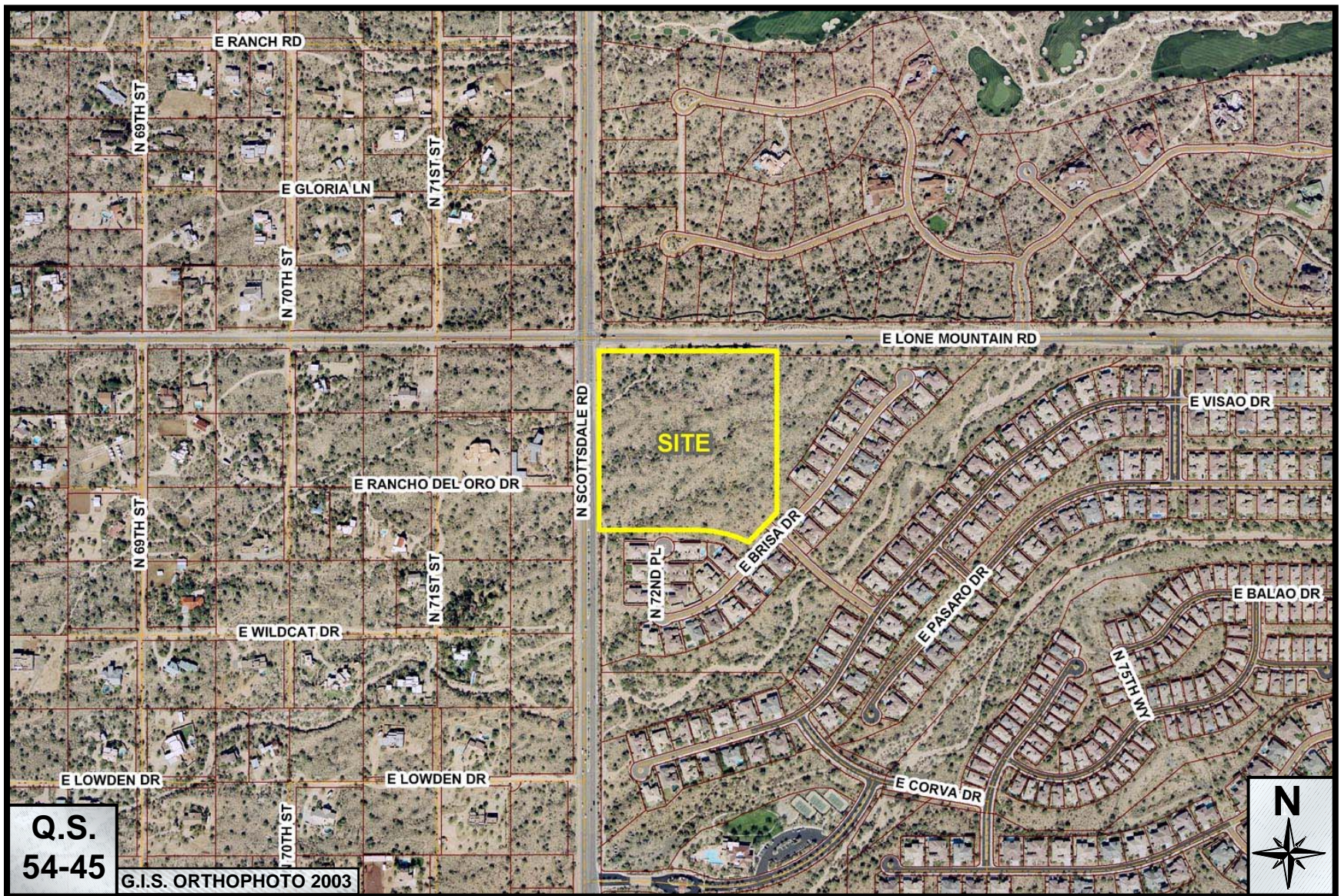
**PROJECT NARRATIVE**  
**CASE NO. 485-PA-2004**  
**SEC SCOTTSDALE ROAD AND LONE MOUNTAIN ROAD**

The Pederson Group proposes to bring an upscale retail center to the southeast corner of Scottsdale Road and Lone Mountain Road, which will be comparable to the other shopping centers developed by The Pederson Group in the City of Scottsdale. This parcel has been zoned for shopping center use for a couple decades, as the commercial zoning was already in place prior to its annexation into the City of Scottsdale in 1983. A site plan for a shopping center was approved by Maricopa County, prior to its annexation into the City of Scottsdale. Although there was not an express stipulation attached to the zoning for this parcel when it was annexed into the City of Scottsdale, requiring that development conform to a particular site plan, The Pederson Group has elected to file this application to seek formal approval from the Planning Commission and the City Council with respect to its proposed site plan. The site plan will feature extensive pedestrian connections with plazas along with high-end hardscape and landscape consistent with other Pederson Group projects. The architecture will be similarly upscale and will blend in with the surrounding architecture.

**ATTACHMENT #1**

**23-ZN-2004  
12-1-04**





SEC Lone Mountain & Scottsdale Road

**23-ZN-2004**

ATTACHMENT #2





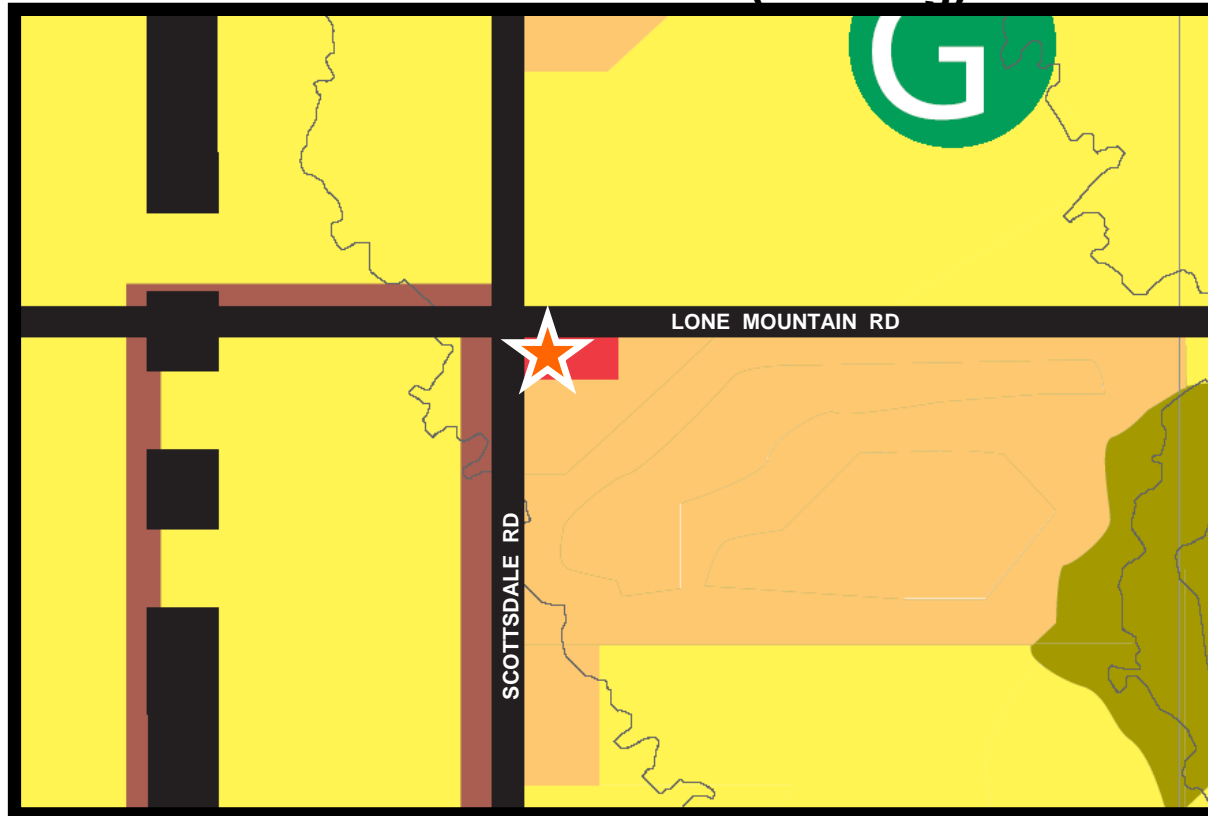
SEC Lone Mountain & Scottsdale Road

**23-ZN-2004**

ATTACHMENT #2A



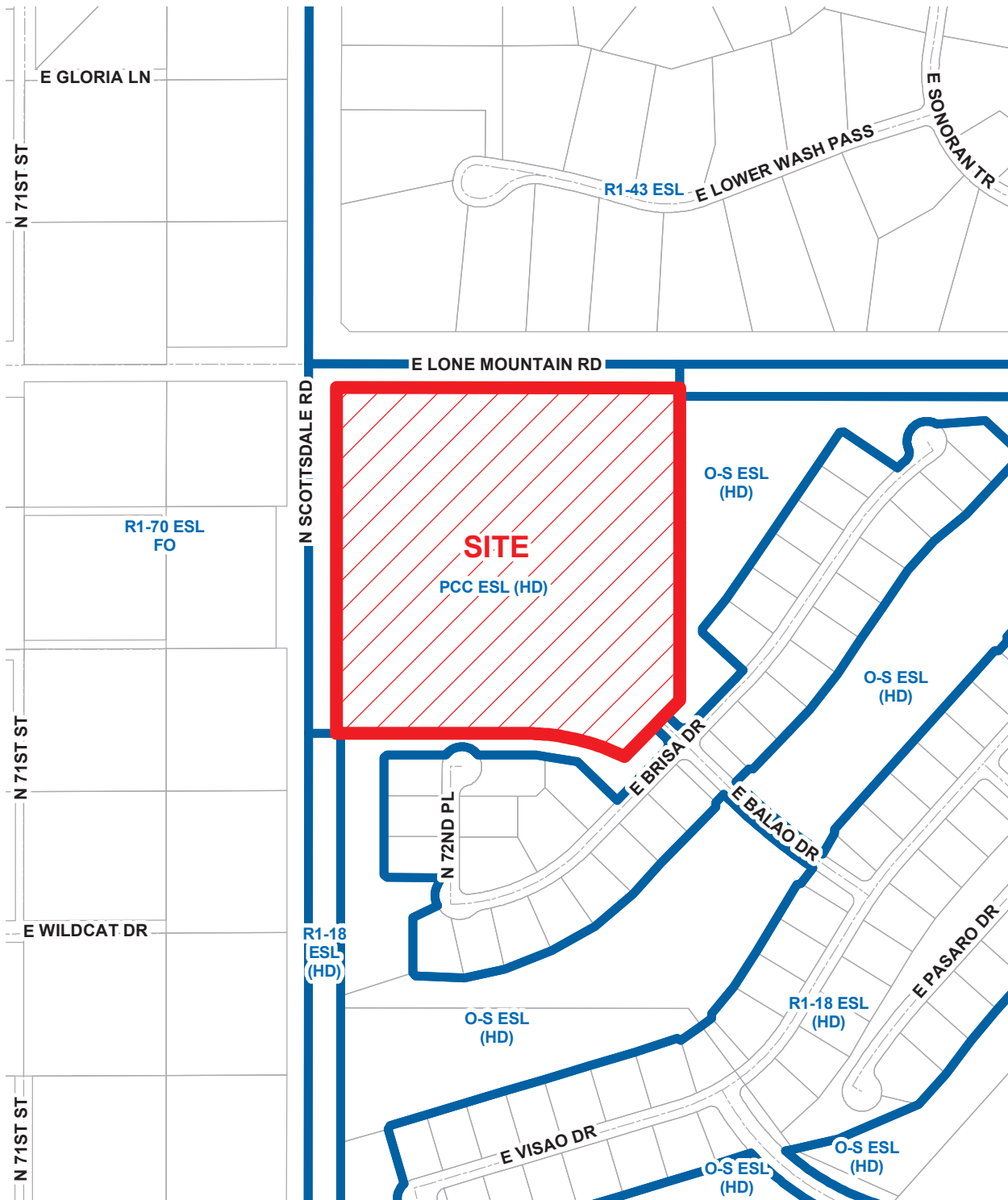
# General Plan (Existing)



**23-ZN-2004**  
ATTACHMENT #3

Adopted by City Council October 30, 2001  
Ratified by Scottsdale voters March 12, 2002  
revised to show McDowell Sonoran Preserve as of May 2004  
revised to reflect General Plan amendments through June 2004

Request for site plan and stipulations amendments



23-ZN-2004

ATTACHMENT #4

## STIPULATIONS FOR CASE 23-ZN-2004

### PLANNING/ DEVELOPMENT

1. **CONFORMANCE TO SITE PLAN.** Development shall conform to the colored site plan submitted by Ellermann, Schick, & Bruno with a drawing date of August 10, 2005. The stipulations herein shall take precedence over the above-referenced site plan, and may result in reductions to the intensity of the development. Any proposed significant change, as determined by the Zoning Administrator, shall be subject to subsequent public hearings before the Planning Commission and City Council.
2. **SCENIC CORRIDOR EASEMENT – SCOTTSDALE ROAD.** The scenic corridor width along Scottsdale Road shall be a minimum of 85 feet and an average of 138 feet, measured from the outside edge of the street right-of-way after necessary dedications are made. Unless otherwise approved by the Development Review Board, the scenic corridor shall be left in a natural condition.
3. **BUFFERED SETBACK EASEMENT – LONE MOUNTAIN ROAD.** The buffered setback easement width along Lone Mountain Road shall be a minimum of 30 feet and an average of 110 feet, measured from the outside edge of the street right-of-way. Unless otherwise approved by the Development Review Board, the buffered setback shall be left in a natural condition.
4. **DEVELOPMENT DETAILS.** Development details shall conform to the following table:

<b>Development Detail</b>	<b>Site Plan</b>
Commercial Floor Area	100,080 sq.ft. maximum
Scottsdale Rd. Scenic Corridor	Minimum 85 feet Average 136 feet Maximum 280 feet
Lone Mtn. Rd. Buffered Setback	Minimum 30 feet Average 110 feet Maximum 219 feet
East Building Setback	Minimum 70 feet
East Landscaped Buffer	Minimum 30 feet
South Building Setback	Minimum 75 feet
South Landscaped Buffer	Minimum 30 feet
Building Height, from finished floor (FF)*	24-foot shops/pads (FF)* 28-foot market (FF)* Heights include towers
Desert Buffer/NAOS	180,000 sq.ft. minimum
Parking	506 spaces maximum

\*Finish floor grades shall be compared with natural grade to maintain the intent of the building height limitations.

Any proposed significant change, as determined by the Zoning Administrator, shall be subject to subsequent public hearings before the Planning Commission and City Council.

5. **OUTDOOR LIGHTING.** With the first Development Review Board submittal, the applicant shall provide a lighting plan demonstrating the following minimum standards are met:
  - A. The maximum height of any outdoor pole lighting source within 200 feet of the south and east property lines shall be limited to 16 feet maximum above grade at the base of the light standard.
  - B. The maximum height of any outdoor pole lighting source for remainder of the property shall



be limited to 20 feet maximum above grade at the base of the light standard.

6. **SIGNS.** No signs shall be installed along the south and east elevations of Shops A, Market, Shops B, Shops C. and Pad 1.

## CIRCULATION

1. **STREET CONSTRUCTION.** Before issuance of any certificate of occupancy for the site, the developer shall dedicate the following right-of-way and construct the following street improvements, in conformance with the Design Standards and Policies Manual:

<b>Street Name/Type</b>	<b>Dedications</b>	<b>Improvements</b>	<b>Notes</b>
Scottsdale Road Major Arterial	10 feet additional for a 75-foot half-width (65 feet existing)	Half street construction for major arterial	See notes a., c., and d. below
Lone Mountain Road Minor Arterial	55-foot half-width (existing)	Half street construction for minor arterial.	See notes b. and c. below

- a. Scottsdale Road - The developer shall provide an in-lieu payment for half street improvements, including two lanes, plus curb and gutter, and any required drainage structure (half width of ultimate crossing). In-lieu fees may be reduced for the cost of any interim improvements to the intersection of Scottsdale Road and Lone Mountain.
  - b. Lone Mountain Road - The developer shall provide an in-lieu payment for half street improvements, including two lanes, plus curb and gutter, and any required drainage structure (half width of ultimate crossing). In-lieu fees may be reduced for the cost of any interim improvements to the intersection of Scottsdale Road and Lone Mountain, and for a left turn lane on Lone Mountain at the site entrance.
  - c. Balao Drive - If no vehicular connection is provided to the existing asphalt stub at Balao Drive to the southeast of this site, the existing asphalt stub shall be removed and revegetated as open space.
  - d. The developer shall provide a minimum 25-foot public access easement along the site frontage of Scottsdale Road and Lone Mountain Road, and shall construct the trail per City standard.
  - e. The developer shall provide a bus stop easement (28 feet long and 11 feet wide) near the southwest corner of the site along Scottsdale Road, and a minimum 8-foot sidewalk connecting the transit stop to the commercial center (or an approved alternate pedestrian route, as determined by city staff).
2. **INTERSECTION IMPROVEMENTS.** The developer shall construct the following intersection improvements at Scottsdale Road and Lone Mountain Road. Construct one eastbound and one westbound left turn lane on Lone Mountain Road. Construct one northbound right turn lane on Lone Mountain Road. Construct one northbound right turn lane on Scottsdale Road. The cost of these improvements may be deducted from the in-lieu costs for ultimate Scottsdale Road and Lone Mountain Road construction. The Transportation General Manager has the right to modify these improvement requirements base upon an engineering feasibility analysis.
3. **IN LIEU PAYMENTS.** At the direction of city staff, before issuance of any building permit for the site, the developer shall make an in lieu payment to the city for street improvements as noted in Circulation Stipulation #1 above.. Before any final plan approval, the developer shall submit an engineer's estimate for plan preparation, design and construction costs. The in lieu payment shall be based on this estimate, plus five percent (5%) contingency cost and other incidental items, as determined by city staff.

4. **ACCESS RESTRICTIONS.** Before issuance of any certificate of occupancy for the site, the developer shall dedicate the necessary right-of-way, as determined by city staff, and construct the following access to the site. Access to the site shall conform to the following restrictions (distances measured to the driveway or street centerlines):
  - a. Scottsdale Road and Lone Mountain Road - The developer shall dedicate a one-foot wide vehicular non-access easement on these streets except at the approved street entrances noted below.
  - b. Scottsdale Road - There shall be a maximum of two site driveways from Scottsdale Road. The southernmost driveway shall be located approximately 660 feet south of Lone Mountain Road, aligning with Rancho del Oro Drive. Full access shall be provided at this location. The northernmost driveway shall be located a minimum of 330 feet from the Scottsdale Road and Lone Mountain intersection. There shall be a minimum 180 feet between the northernmost driveway and the southernmost driveway. The northernmost driveway shall be limited to right-in, right-out only movements.
  - c. Lone Mountain Road - There shall be a maximum of one site driveway from Lone Mountain Road. The driveway shall be located approximately 660 feet east of Scottsdale Road.
5. **MEDIAN RECONSTRUCTION.** Before issuance of any certificate of occupancy for the site, the developer shall reconstruct and/or restripe the existing median on Scottsdale Road to provide left-turn access into and out of the site, to the satisfaction of city staff. The developer shall also construct a raised median at the northernmost driveway on Scottsdale Road and within Scottsdale Road, with necessary striping, to prohibit left-turn access into and out of the site, to the satisfaction of city staff.
6. **AUXILIARY LANE CONSTRUCTION.** Before issuance of any certificate of occupancy for the site, the developer shall dedicate the necessary right-of-way, as determined by city staff, and construct right-turn deceleration lanes at all site entrances on Scottsdale Road and Lone Mountain Road, in conformance with the Design Standards and Policies Manual. Before issuance of any certificate of occupancy for the site, the developer shall dedicate the necessary right-of-way, as determined by city staff, and construct a left turn lane at all site entrance on Lone Mountain Road, in conformance with the Design Standards and Policies Manual.
7. **PEDESTRIAN CIRCULATION PLAN.** With the Development Review Board submittal, the developer shall submit a Pedestrian Circulation Plan for the site. This plan shall indicate the location and width of all sidewalks and pedestrian pathways.

The developer shall provide a pedestrian connection to the adjacent Bellasera community at the southeast corner of the site, or at another location subject to approval by the Development Review Board. The design of the connection shall be coordinated with the Bellasera Homeowners' Association.
8. **MULTI-USE TRAIL.** Before any certificate of occupancy is issued for the site, the developer shall construct a minimum 8-foot wide multi-use trail along Scottsdale Road and Lone Mountain Road, as shown on the submitted site plan. The trail shall be contained within a minimum 25-foot wide public access easement. The alignment of the trail shall be subject to approval by the city's Trails Planner prior to dedication. The trail shall be designed in conformance with the Design Standards and Policies Manual - Landscaping and Parks.
9. **DRAINAGE.** The developer shall construct either an open channel and/or a pipe as necessary to convey the stormwater flow along the south side of Lone Mountain Road. With the Development Review submittal, applicant shall provide details of conveyance system, including any necessary walls, landscaping, and other treatments.

## **ADDITIONAL INFORMATION FOR CASE 23-ZN-2004**

### **PLANNING/DEVELOPMENT**

1. **DEVELOPMENT CONTINGENCIES.** The approved development program, including intensity, may be changed due to drainage issues, NAOS requirements, and other site planning concerns which will need to be resolved at the time of Development Review Board approval. Appropriate design solutions to these constraints may preclude achievement of the proposed development program.
2. **REQUIRED APPROVAL FOR SITE PLAN REVISIONS.** The above referenced site plan shall be revised at the time of DRB application to demonstrate conformance with all ordinance requirements. If those revisions result in a significant change building configurations, parking space locations, or on-site automobile circulation as determined by the Zoning Administrator, then the proposal shall return to a public hearing before the Planning Commission and City Council prior to any DRB hearing.
3. **SLOPE ANALYSIS.** At the time of DRB application, a slope analysis shall be submitted to accurately demonstrate NAOS requirements. The slope analysis shall meet the minimum standards set forth in the latest written administrative direction to be approved by the Zoning Administrator.
4. **DEVELOPMENT REVIEW BOARD.** The City Council directs the Development Review Board's attention to:
  - a. Finish floor grades compared with natural grade to maintain the intent of the building height limitations,
  - b. Site design with strong courtyards,
  - c. Perimeter wall and screening design along the east and south property lines,
  - d. A plan indicating the treatment of washes, scenic corridors, and buffered setbacks,
  - e. The type, height, design, and intensity of proposed lighting on the site, to ensure that it is compatible with the adjacent use,
  - f. Improvement plans for common open space, common buildings and/or walls, and amenities such as trellises, landscape buffers on public and/or private property (back-of-curb to right-of-way or access easement line included),
  - g. Walls adjacent to NAOS tracts and corridors,
  - h. Landscaping setting of the buildings and overall site.
5. **NATIVE PLANT PRESERVATION.** The owner shall secure a native plant permit as defined in the Scottsdale Revised Code for each parcel. City staff will work with the owner to designate the extent of the survey required within large areas of proposed undisturbed open space. Where excess plant material is anticipated, those plants shall be offered to the public at no cost to the owner in accordance with state law and permit procedure or may be offered for sale.

### **ENGINEERING**

1. **RESPONSIBILITY FOR CONSTRUCTION OF INFRASTRUCTURE.** The developer shall be responsible for all improvements associated with the development. Improvements shall include, but not be limited to, storm drains, drainage structures, water systems, sanitary sewer systems, curbs and gutters, paving, sidewalks, streetlights, street signs, and landscaping. The granting of zoning/use permit does not and shall not commit the city to provide any of these improvements.
2. **STREET CONSTRUCTION STANDARDS.** The streets for the site shall be designed and constructed to the standards in the Design Standards and Policies Manual.

3. CITY CONTROL OF ACCESS. The city retains the right to modify or void access within city right-of-way. The city's responsibility to promote safe conditions for the traveling public takes precedence over the stipulations above.

### **DRAINAGE AND FLOOD CONTROL**

1. CONCEPTUAL DRAINAGE REPORT. With the Development Review Board submittal, the developer shall submit a conceptual drainage report and plan subject to city staff approval. The conceptual report and plan shall conform to the Design Standards and Policies Manual - Drainage Report Preparation. In addition, the conceptual drainage report and plan shall:
  - a. Identify all major wash corridors entering and exiting the site, and calculate the peak discharge (100-yr, 6-hr storm event) for a pre- versus post-development discharge comparison of ALL washes which exit the property.
  - b. Determine easement dimensions necessary to accommodate design discharges.
  - c. Demonstrate how the storm water storage requirement is satisfied, indicating the location, volume and drainage area of all storage.
  - d. Include flood zone information to establish the basis for determining finish floor elevations in conformance with the Scottsdale Revised Code.
  - e. Include a complete description of requirements relating to project phasing.
2. STORM WATER STORAGE REQUIREMENT. The developer shall construct stormwater storage facilities to store the full stormwater runoff from the 100 year, 2 hour storm event. Before submitting improvement plans to the Plan Review Division, the developer shall submit a final drainage report and plan which calculates the storm water storage volume required,  $V_r$ , and the volume provided,  $V_p$ , using the 100-year, 2-hour storm event.
3. STORM WATER STORAGE EASEMENTS. With the Development Review Board submittal, the developer shall submit a site plan subject to city staff approval. The site plan shall include and identify tracts with easements dedicated for the purposes of storm water storage, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
4. This site is approved to use underground storage to meet comply with the full stormwater storage requirements for this site.

### **DRAINAGE REPORT AND PLAN**

1. FINAL DRAINAGE REPORT. With the final improvement plans submittal to the Project Quality/Compliance Division, the developer shall submit a final drainage report and plan, subject to city staff approval. In addition, the final drainage report and plan shall:
  - a. Determine the peak flow for the main wash through the northwest corner of the site.
  - b. Discuss and show how the stormwater flow will be contained and routed along the north and south sides of Lone Mountain road. Identify the flowline of the wash the and the 100 yr floodplain.
  - c. Determine what size culvert should be installed in Scottsdale Road and Lone Mountain Road to pipe the stormwater under the roads. This will be part of the in lieu fees calculations for the half street improvements to Scottsdale Road and Lone Mountain.
  - d. Include final calculations and detailed analysis that demonstrate consistency with the conceptual drainage plan and report accepted by the Community Development Division.
  - e. Include calculations and details that demonstrate how the storm water storage requirement will be met. The drainage exhibit shall show the location, configuration, depth of water and extents of the high water surface elevation(s).



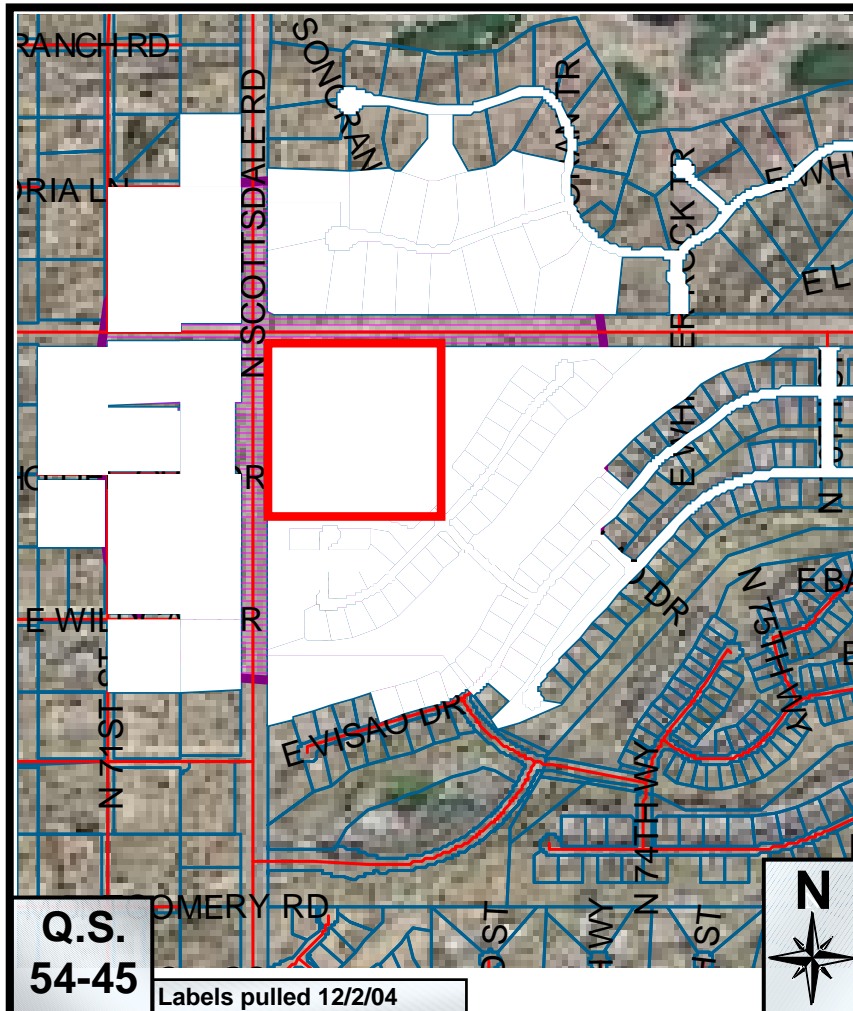
- f. Include an exhibit that indicates where the site lies within the FEMA designated areas and define all pertinent FEMA designations.
- g. Show all upstream contributing basin areas, including calculations and analysis for the peak runoff entering the site.
- h. Include a discussion of how grading, drainage and finished floor elevations will be affected by development.
- i. Discuss how storm water storage basins and storage tanks will be drained, (by gravity out-fall, pump, etc.) Include bleed-off calculations that demonstrate the discharge rate and time to drain.
- j. Demonstrate that storm water runoff exiting this site has a safe place to flow.
- k. Include calculations for rip-rap lined channels and rip-rap outlet structures using the design criteria for characteristic sizing, gradation, thickness and filter-blanket requirements from the Drainage Design Manual for Maricopa County, Volume II, Section 6.5.3.

**Scottsdale & Lone Mountain  
23-ZN-2004**

Attachment #7 Citizen Involvement

The above attachment is on file at the City of  
Scottsdale Current Planning office,  
7447 E Indian School Road, Suite 105.

# City Notifications – Mailing List Selection Map



## Map Legend:



Site Boundary



Properties within 750-feet

## Additional Notifications:

- Interested Parties
- Whisper Rock Estates Community Association
- Bellasera Community Association
- Friends of the Scenic Drive
- Lone Mountain Vista
- Trovia Community Association
- Las Piedras Homeowners Association

# Scottsdale & Lone Mountain

## 23-ZN-2004

ATTACHMENT #8

**Scottsdale & Lone Mountain  
23-ZN-2004**

Attachment #9 Correspondence

The above attachment is on file at the City of  
Scottsdale Current Planning office,  
7447 E Indian School Road, Suite 105.



# MARICOPA COUNTY DEPARTMENT OF PLANNING AND DEVELOPMENT

111 S. 3rd. Avenue, Room 300, Phoenix, Arizona 85003 — Phone (602) 262-3201



February 23, 1983

Mr. Martin T. Jones  
2333 N. Central Avenue  
Phoenix, AZ 85002

RE: MARICOPA COUNTY ZONING CASE NO: Z 82-57

Dear Mr. Jones:

At their regular meeting of February 15, 1983, the Maricopa County Board of Supervisors voted to approve your request for a change of zoning from Rural-43 to R1-35 with a provision for a Neighborhood Unit Plan of Development pursuant to Article XXIV, Section 2402, M.C.Z.O.

This change involves 290.77 acres of land as described in the above referenced zoning case.

Approval is subject to the following requirements and conditions:

- a) Development in accordance with the "N.U.P.D. Plan - MSP Companies - Scottsdale and Lone Mountain Roads" consisting of two sheets, dated revised December 29, 1982.
- b) Compliance with the provisions contained in the Narrative Report entitled "Lone Mountain Shadows", dated December 16, 1982.
- c) Dedication to provide total half-width right-of-way of 65 feet for Scottsdale Road and 55 feet for Lone Mountain Road.
- d) Paving for Scottsdale and Lone Mountain Roads intersection including conduit and pole foundations for future signals to the satisfaction of the County Highway Department at the time of development.
- e) Paving of 28 foot width along Miller Road adjacent to the exception parcel to the satisfaction of the County Highway Department at the time of development.
- f) Provision of a fully developed street (Rancho Del Oro) along the exception parcel to the satisfaction of the County Highway Department at the time of development.

Mr. Jones  
February 23, 1983  
Page Two

- g) Submittal to and approval by the Flood Control District of a Master Drainage Study prior to approval of any preliminary subdivision plats.
- h) Compliance with the recommendations of the Rural Metro Fire Department regarding the number and location of fire hydrants.
- i) Commercial ingress and egress be eliminated from Scottsdale Road and limited to Lone Mountain Road.

These required roadway dedications must be granted within 6 months from the date of Board action. The approved zoning shall be null and void if the required dedications are not made and accepted by the Board of Supervisors within the 6-month time period. This stipulation is pursuant to a resolution adopted by the Board of Supervisors on August 16, 1976.

The recommended right-of-way dedications are shown on the attached map prepared by the Maricopa County Highway Department. The Right-of-Way Division of the County Highway Department, 3325 West Durango, will prepare the necessary forms for you. Please call 262-3625 and arrange an appointment with that office. Then take or mail this letter and the attached map, together with your title policy, or a photostatic copy of the deed to your property showing the type of ownership (such as husband and wife, mortgage, contract, etc.) and any encumbrances or easements pertaining thereto to the Right-of-way Division. They will then prepare the easements for highway and/or flood control purposes and mail them to you for execution. The signed forms should then be forwarded to our office for recording. When the easements are recorded, your zoning will become effective.

Enclosed are copies of your Plan of Development and Narrative Report stamped approved by the Board of Supervisors on February 15, 1983.

Sincerely,

DON E. McDANIEL, JR., DIRECTOR  
DEPARTMENT OF PLANNING AND  
DEVELOPMENT

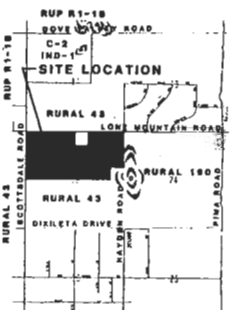
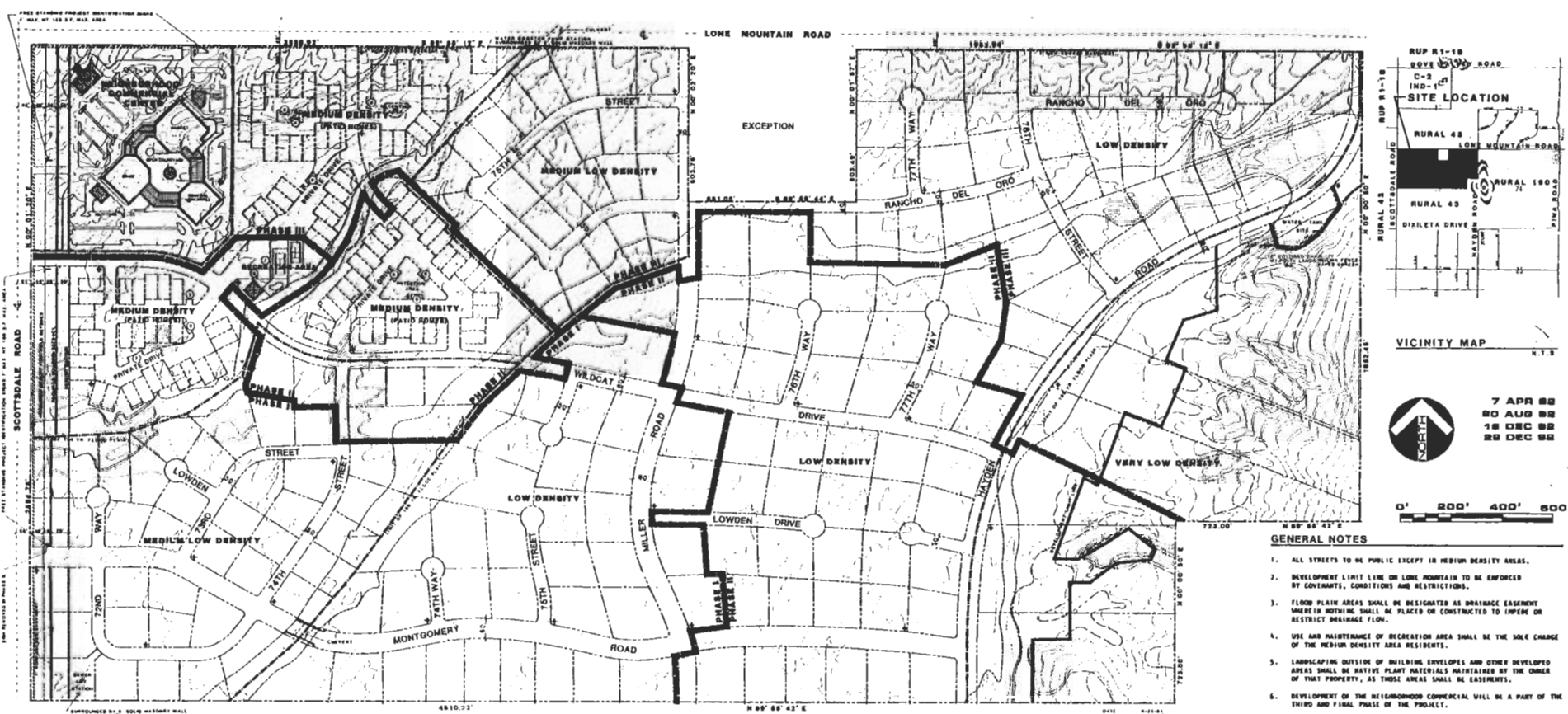


Richard Turner  
Principal Planner  
Current Planning Division

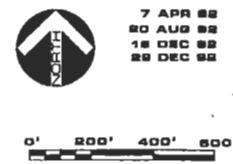
JP/pj

Enclosures

XC: Matt Hartman, County Highway Department  
Walt McCoy, Chief Building Official  
MSP Properties, owner



VICINITY MAP  
N.T.S.



7 APR 88  
20 AUG 88  
18 DEC 88  
22 DEC 88

- GENERAL NOTES**
1. ALL STREETS TO BE PUBLIC EXCEPT IN MEDIUM DENSITY AREAS.
  2. DEVELOPMENT LIMIT LINE OR LONE MOUNTAIN TO BE ENFORCED BY COVENANTS, CONDITIONS AND RESTRICTIONS.
  3. FLOOD PLAIN AREAS SHALL BE DESIGNATED AS DRAINAGE EASEMENT WHEREIN NOTHING SHALL BE PLACED OR CONSTRUCTED TO IMPURE OR RESTRICT DRAINAGE FLOW.
  4. USE AND MAINTENANCE OF RECREATION AREA SHALL BE THE SOLE CHARGE OF THE MEDIUM DENSITY AREA RESIDENTS.
  5. LANDSCAPING OUTSIDE OF BUILDING ENVELOPES AND OTHER DEVELOPED AREAS SHALL BE NATIVE PLANT MATERIALS MAINTAINED BY THE OWNER OF THAT PROPERTY, AS THOSE AREAS SHALL BE EASEMENTS.
  6. DEVELOPMENT OF THE NEIGHBORHOOD COMMERCIAL WILL BE A PART OF THE THIRD AND FINAL PHASE OF THE PROJECT.
  7. CDP'S WILL PROHIBIT LOT SPLITTING OF VERY LOW DENSITY LOTS.

# LAND USE DATA

## TOTAL AREAS (ACRES)

CATEGORY	GROSS AREA	R.O.W.	NET RESIDENTIAL AREA	CONV.-SAILING OPEN SPACE	TOTAL NET AREA	RDU	TOTAL NET DENSITY	GROSS DENSITY
RESIDENTIAL								
Very Low	18.7	2.4	10.3	15.6	55.9	6	0.13 DU/AC	0.12 DU/AC
Low	126.9	22.7	89.9	16.7	106.6	112	1.08 DU/AC	0.88 DU/AC
Medium	65.0	12.0	36.0	9.8	45.8	69	1.51 DU/AC	1.06 DU/AC
Medium-Low	12.2	13.9	11.1	18.7	29.8	96	3.12 DU/AC	2.28 DU/AC
COMMERCIAL	2.0	2.1	N/A	N/A	N/A	N/A	N/A	N/A
TOTALS	299.8	51.5	147.5	80.8	228.1	283	1.24 DU/AC	1.00 DU/AC

\*Private and Public R.O.W.

Maximum allowable RDU = 228.1 ac. = 1,245 (13,360 SF) = 284 DU

## NOTES:

1. Net Developable Area = Gross Area - open space, RDU, and Recreation Area.
2. Overall Density for Residential Areas Only.
3. Private RDU in Medium Density Areas Only.
4. Total guest parking of medium density = 16 spaces (18/70)  
Guest parking spaces shall conform to Sections 1607 and 2310.18 of the A.C.F.O. except as shown.

## UTILITIES & SERVICES

SEWER:	Boulder-Carson Corporation
WATERS:	North Valley Water Company
ELECTRIC:	Arizona Public Service
TELEPHONE:	Mountain Bell
POLICE:	Maricopa County Sheriff's Department
FIRE:	Baldwin Fire Department
HIGH SCHOOL:	Paradise Valley Unified School District 669
ELEMENTARY SCHOOL:	Cove Creek Elementary School District 293
SOLID WASTE DISPOSAL:	Private Refuse Collection

(See Appendixes A, B and G)

**LEGAL DESCRIPTION**

PREPARED BY PRO. YOUNG, JUN. 88

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER AND THE NORTHWEST QUARTER OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 4 EAST, GILA AND SALT RIVER BASIN AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 23, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE S 00° 00' 00" W ALONG THE EAST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 190.45 FEET TO A POINT FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 23 BEARS S 00° 00' 00" W, A DISTANCE OF 723.00 FEET; THENCE S 89° 55' 43" E, A DISTANCE OF 723.00 FEET; THENCE S 00° 00' 00" W, A DISTANCE OF 723.00 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 23 BEARS S 89° 55' 43" E, A DISTANCE OF 723.00 FEET; THENCE S 89° 55' 43" E ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 190.45 FEET TO THE TRUE POINT OF BEGINNING.

Open Space - Gross Area

CATEGORY	PHASE I	PHASE II	PHASE III	TOTAL	% OF GROSS AREA
Very Low	4.8	5.5	10.3	3.42	
Low	28.1	16.9	74.9	89.9	30.02
Medium-Low	19.0	4.4	14.6	36.0	12.00
Commercial	1.5	1.5	4.1	11.1	3.72
TOTAL	53.4	28.3	103.5	187.2	62.88

Plots of May & Utilities - Gross Area

CATEGORY	PHASE I	PHASE II	PHASE III	TOTAL	% OF GROSS AREA
Public RDU	14.3	11.6	16.2	42.1	14.02
Private RDU	2.5	2.5	8.5	13.5	4.50
Water Line Site	2.0	2.0	7.0	11.0	3.67
Water Pump Station	2.0	2.0	7.0	11.0	3.67
Sewer Lift Station	2.0	2.0	7.0	11.0	3.67
TOTAL	17.4	14.3	21.2	52.9	17.82

Recreation Facilities

CATEGORY	PHASE I	PHASE II	PHASE III	TOTAL	% OF GROSS AREA
Medium Density	1.0	1.0	3.0	5.0	1.67
Recreation Area	1.0	1.0	3.0	5.0	1.67
TOTAL	2.0	2.0	6.0	10.0	3.33

TOTAL GROSS AREA: 68.7 80.9 128.8 299.8 100%

**ZONING REQUIREMENTS COMPARISON**

DENSITY/ ZONING	MAX. BLOCK HT.		MIN. YARD SETBACK <sup>1</sup>		INTENSITY OF USE			
	STORIES	FEET	FRONT	REAR	MIN. LOT SIZE	MIN. LOT AREA <sup>2</sup>	MIN. LOT COVERAGE	MIN. DIST. BETWEEN BLDGS.
Very Low	2	30	60	60	30	30	60,000	200'
Rural - 70	2	30	60	60	30	30	70,300	250'
Low Density	2	30	40	40	20	20	30,000	125'
R1-35	2	30	40	40	20	20	35,000	145'
Medium Low	2	30	30	30	10	15	15,000	100'
R1-18	2	30	30	30	10	15	18,000	120'
Medium <sup>3</sup>	2	30	40	40	15	15	5,000	50'
R-3	2	30	40	40	15	15	6,000	60'
Cumulative	2	30	40	40	20	20	35,000	145'
R1-35	2	30	40	40	20	20	35,000	145'
Neighborhood Commercial	23	30	50	50	50	50	50	50
C-3	3	40	50	50	50	50	50	50

NOTES:  
1. Except where superseded by development limit line or floodplain boundary.  
2. Figures are for individual plots only and do not include common areas.  
3. Except for lower in commercial, which will be 40'.  
4. Setbacks along arterial streets will be landscaped with native material in as natural condition as is practical.

**OWNER DEVELOPER**

GSAS COMPANIES  
800 S. CHERRY ST., STE. 1000  
DENVER, CO 80222  
(303) 556-9000

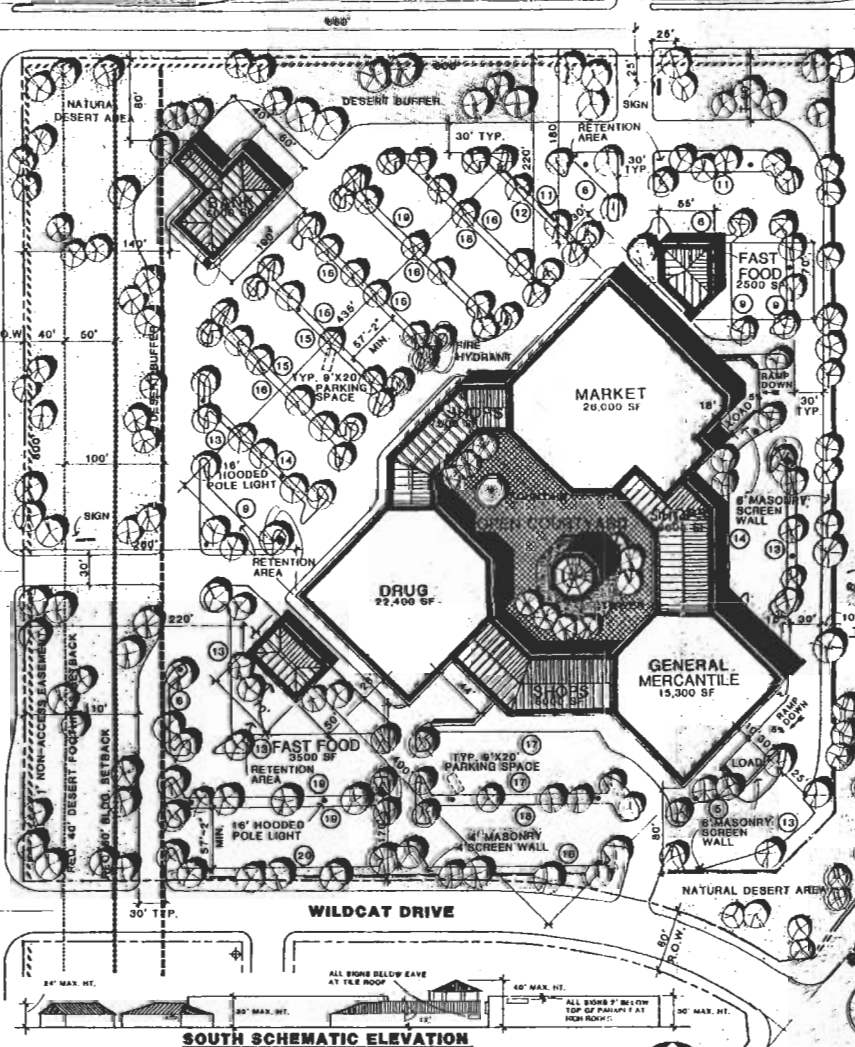
**RECEIVED**

JUN 3 1988

1 OF 8



# LONE MOUNTAIN ROAD



**SOUTH SCHEMATIC ELEVATION**

## PROJECT DATA

GROSS LOT AREA: (INCLUDING R.O.W.)	240,000 SF (17.0 AC)
R.O.W. SCOTTSDALE ROAD & LONE MOUNT. RD.	91,500 SF (2.1 AC)
NET LOT AREA: (INCLUDING DESERT BUFFER)	649,000 SF (14.9 AC)
DESERT BUFFER AREA: (INCLUDING LONE MOUNT. RD.)	153,000 SF (3.5 AC)
NET DEVELOPABLE AREA:	157,000 SF (3.6 AC)
OPEN COURTYARD:	27,000 SF (0.6 AC)
TOTAL BUILDING AREA:	109,000 SF
REQUIRED PARKING AREA:	377,000 SF
PROVIDED PARKING AREA:	361,000 SF (775 SF/SPACE)
PROVIDED PARKING SPACES:	666 SPACES (1.5/1000 SF OF BLDG.)

## COMMERCIAL CENTER NOTES

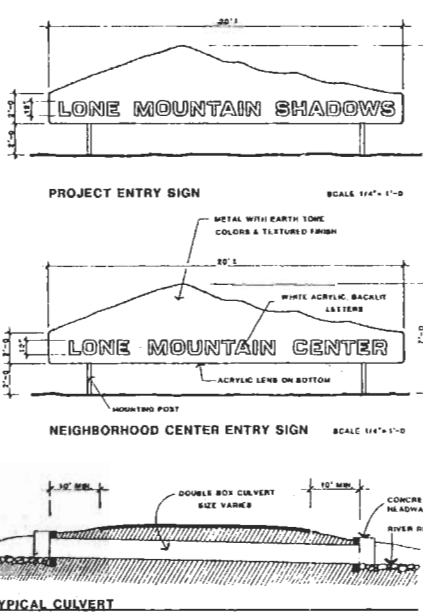
- SEE TABLE 27 APPENDIX I OF THE NARRATIVE REPORT FOR LIST OF OTHER POTENTIAL SHOP BUILDS.
- MAJOR STORES SHALL BE FINE SPREADABLE FROM WATER STORED IN COURTYARD TOWER.
- SIGNAGE:
  - ALL FREESTANDING SIGNS SHALL BE AS SHOWN ABOVE.
  - BUILDING MOUNTED SIGNS SHALL NOT EXCEED 10' PER LEGAL FOOT OF FRONTAGE.
  - DRIVEWAYS, COMMERCIAL STORAGE SHALL EXCEED 10' SECTION 1300.44 OF THE MARICOPA COUNTY ZONING ORDINANCE.
- PARKING FOR THE NEIGHBORHOOD COMMERCIAL CENTER SHALL CONFORM TO SECTION 1307.04A(2)(3) OF THE MARICOPA COUNTY ZONING ORDINANCE.
- DEVELOPMENT OF THE NEIGHBORHOOD CENTER WILL BE IN THE STATE, BY MANAGEMENT, DURING PHASE TWO OF THE PROJECT.



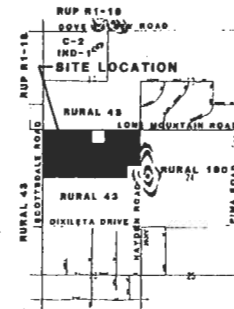
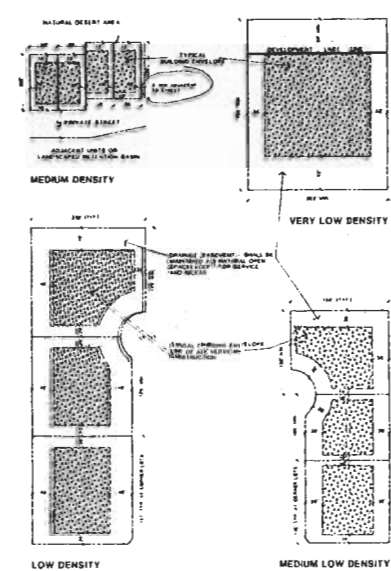
## LEGEND

- 1"=80'
- 16" HOODED POLE LIGHT
- 16" HOODED POLE LIGHT

## PROPOSED FREESTANDING SIGNS



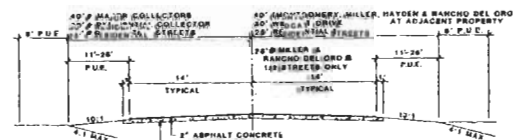
## TYPICAL UNIT LAYOUT



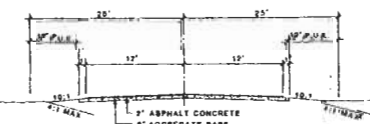
## VICINITY MAP

20 AUG 88  
15 DEC 88  
29 DEC 88

## TYPICAL STREET SECTIONS



## PUBLIC STREETS

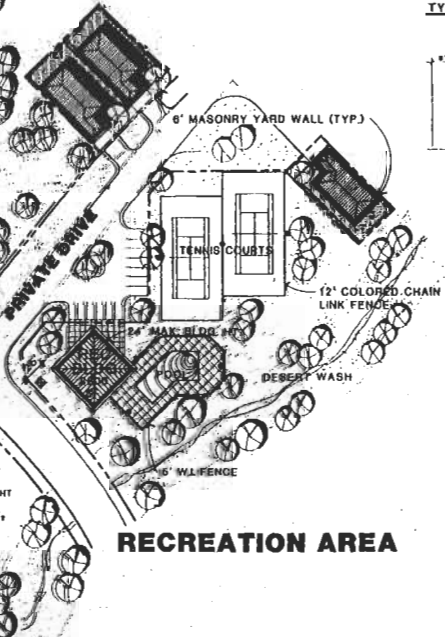


## PRIVATE DRIVES (Medium Density Area Only)

## POPULATION TABULATION

TYPE OF UNIT	POP/UNIT	NUMBER OF UNITS	POPULATION
Very Low Density	2.5	0 3 3 6 0 8 8 16	
Low Density	2.5	35 44 33 112 88 110 83 281	
Medium Low Density	2.5	35 35 35 105 80 105 80 340	
Medium Density	2.5	35 35 35 105 80 105 80 340	
TOTALS	2.5	105 105 105 315 240 315 240 1050	

## RECREATION AREA







## CITY COUNCIL ACTION REPORT

DATE: MAY 1, 1984

TO: THE HONORABLE MAYOR AND CITY COUNCIL

FROM: COMMUNITY DEVELOPMENT/PROJECT REVIEW

SUBJECT: CASE 36-Z-84 AND ORD. #1641 - SCOTTSDALE FOOTHILLS ZONING; ORD. #1639 - SINCUIDADOS ADOPTION

AGENDA ITEM NO.

15

STAFF:

JAMES L. ROBERTS

NEAL T. PASCOE

### RECOMMENDATION

It is recommended that the City Council:

- 1) concur with the recommendation of the Planning Commission and APPROVE Case 36-Z-84, a Council Initiative to establish Scottsdale zoning classifications for the recently annexed Scottsdale Foothills Area, per the attached maps and the following stipulations:
  - a. The R-4R development at the southwest corner of Scottsdale and Dove Valley Roads shall be developed in accordance with the conditions approved under Maricopa County zoning.
  - b. The 560 acre Sincuidados project at the southwest corner of Pima and Lone Mountain Roads is excepted from this rezoning action;
2. APPROVE Ordinance No. 1641, adopting Case 36-Z-84.
3. APPROVE Ordinance No. 1639, adopting Case 93-Z-83 which approved rezoning from County Rural-190 to R1-70 HD/HU for the Sincuidados project.

### FACTS

The proposal is to establish Scottsdale zoning classifications for the recently annexed Scottsdale Foothills Area to replace the County zoning classifications that were retained for a maximum of 6 months. The pending expiration of County zoning is May 4, 1984. The proposed rezoning achieves the following objectives:

1. County zoning classifications are replaced with Scottsdale's most comparable zoning classifications.
2. Hillside District overlay zoning is applied to areas east of Pima Road which is consistent with previous overlays. Additionally, Hillside District zoning is applied to areas north of Dixileta and west to Scottsdale Road to reflect such significant terrain as Lone Mountain.
3. The 105' building setback from the center line of Scottsdale Road which is provided by County zoning will be maintained until such time that a Scenic Drive policy is established.
4. Planned developments approved in the County (Carefree South, Lone Mountain Shadows, Lone Mountain Vistas) will maintain their development approvals subject to the stipulations and standards approved by the County.

Two corrections to the zoning maps should be noted. The 560 acres located at the southwest corner of Pima and Lone Mountain Roads were rezoned from County Rural-190 to Scottsdale R1-70 HD/HU for the Sincuidados project in Case 93-Z-83. Adoption of zoning for Sincuidados will be by separate ordinance. Additionally, the R-4R proposed zoning for the resort portion of Carefree South should reflect conditional approval.

The proposed rezoning action does not reflect the General Plan work being completed for the Scottsdale Foothills Area. The land use for the area maintains substantially the status quo. The staff recommended approval subject to the stipulations.

CC-1148 (3-80)

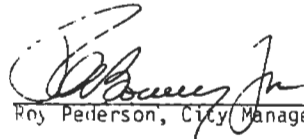
## CITY COUNCIL ACTION REPORT

Case 36-Z-84  
Page 2

Four persons spoke at the April 24, 1984 Planning Commission meeting, citing concerns for density, water, and the lack of a General Plan. One speaker suggested that no City zoning should be applied prior to General Plan adoption. However, it is legally necessary to apply City zoning within the statutory 6 month limit, and it has been the staff's stated intent since annexation to utilize comparable City zoning. The Commission voted unanimously to forward Case 36-Z-84 to the City Council with a recommendation for approval subject to the stipulations. The request has been reviewed by and has the concurrence of the Development Team.

The form of the attached ordinances has been reviewed by and has the concurrence of the City Attorney.

  
Tom Davis, Assistant City Manager

  
Roy Pederson, City Manager

Attachments: #1-Planning Commission Report 4/24/84  
#2-Current Zoning  
#3-Proposed Zoning  
#4-Ordinance No. 1639/Adoption Map 608  
#5-Ordinance No. 1641/Adoption Map 607

Council Action Taken	Date	
Resolution No. ....	Continued to	.....
Ordinance No. ....	Referred to	.....
Formal Motion	Accepted	Rejected

April 24, 1984

To: Planning Commission

From: Zoning Staff

Re: Case 36-Z-84 - Scottsdale Zoning on Scottsdale Foothills Area

RECOMMENDATION

It is recommended that the Planning Commission recommend APPROVAL of Case 36-Z-84, a Council Initiative to establish Scottsdale zoning classifications on the recently annexed Scottsdale Foothills Area, per the attached maps.

FACTS

The proposal is to establish Scottsdale zoning classifications for the recently annexed Scottsdale Foothills Area to replace the County zoning classifications that were retained for a maximum of 6 months. The pending expiration of County zoning is May 4, 1984. The proposed rezoning achieves the following objectives:

1. County zoning classifications are replaced with Scottsdale's most comparable zoning classifications.
2. Hillside District overlay zoning is applied to areas east of Pima Road which is consistent with previous overlays. Additionally, Hillside District zoning is applied to areas north of Dixileta and west to Scottsdale Road to reflect such significant terrain as Lone Mountain.
3. The 105' building setback from the center line of Scottsdale Road which is provided by County zoning will be maintained until such time that a Scenic Drive policy is established.
4. Planned developments approved in the County (Carefree South, Lone Mountain Shadows, Lone Mountain Vistas) will maintain their development approvals subject to the stipulations and standards approved by the County.

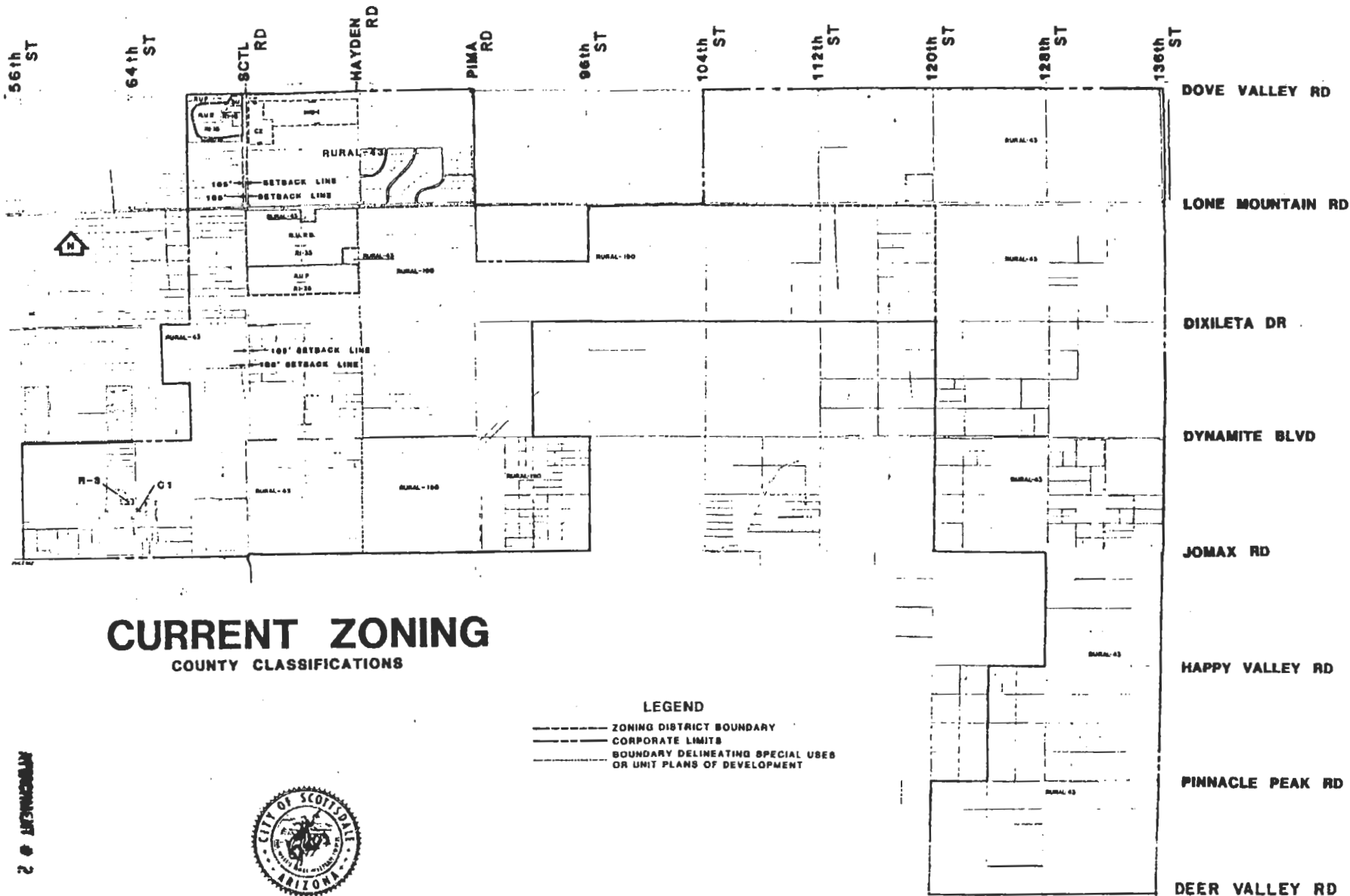
One correction to the zoning maps should be noted. The 560 acres located at the southwest corner of Pima and Lone Mountain Roads were rezoned from County Rural-190 to Scottsdale R1-70 HD/HC for the Sincuidados project in Case 93-Z-83. Adoption of zoning for Sincuidados will be by separate ordinance.

The proposed rezoning action does not reflect the General Plan work being completed for the Scottsdale Foothills Area. The land use for the area maintains substantially the status quo. The staff recommends approval per the attached maps.

MPL:dy

Attachments: #2-Current Zoning  
                  #3-Proposed Zoning

ATTACHMENT #1





## ORDINANCE NO. 1641

*See Ord No 1639*

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE,  
MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455,  
THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, AZ,  
AND FOR THE PURPOSE OF CHANGING THE ZONING ON THE  
"DISTRICT MAP" TO THAT ZONING SHOWN ON ZONING MAP  
NO. 607 : AND DECLARING AN EMERGENCY.

WHEREAS, Zoning Case No. 36-Z-84 has been properly noticed for  
public hearing, pursuant to the requirements of the Scottsdale Zoning Ordinance  
and the statutes of the State of Arizona, and the necessary hearings thereupon  
have been completed, and

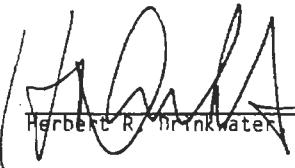
WHEREAS, the Council of the City of Scottsdale instructed the Zoning  
staff to prepare an ordinance and map changing the zoning on the property described  
in Application No. 36-Z-84 as requested by the applicant, and

WHEREAS, it is now necessary that the comprehensive zoning map of the  
City of Scottsdale be amended to conform with the aforesaid decision of the  
Scottsdale City Council;

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale,  
Arizona, that the "District Map" adopted as a part of Ordinance No. 455, showing  
the zoning district boundaries in the City of Scottsdale, is amended as shown on  
the attached Zoning Map No. 607, which map together with all notations, references  
and other information shown thereon is incorporated as a part of this ordinance  
and shall have the same force and effect as if fully set forth herein.

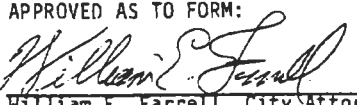
WHEREAS, the immediate operation of the provisions of this ordinance is  
necessary for the preservation of the public peace, health, safety and welfare,  
an EMERGENCY is hereby declared to exist and this ordinance shall be in full force  
and effect from and after its final passage and adoption by the City Council.

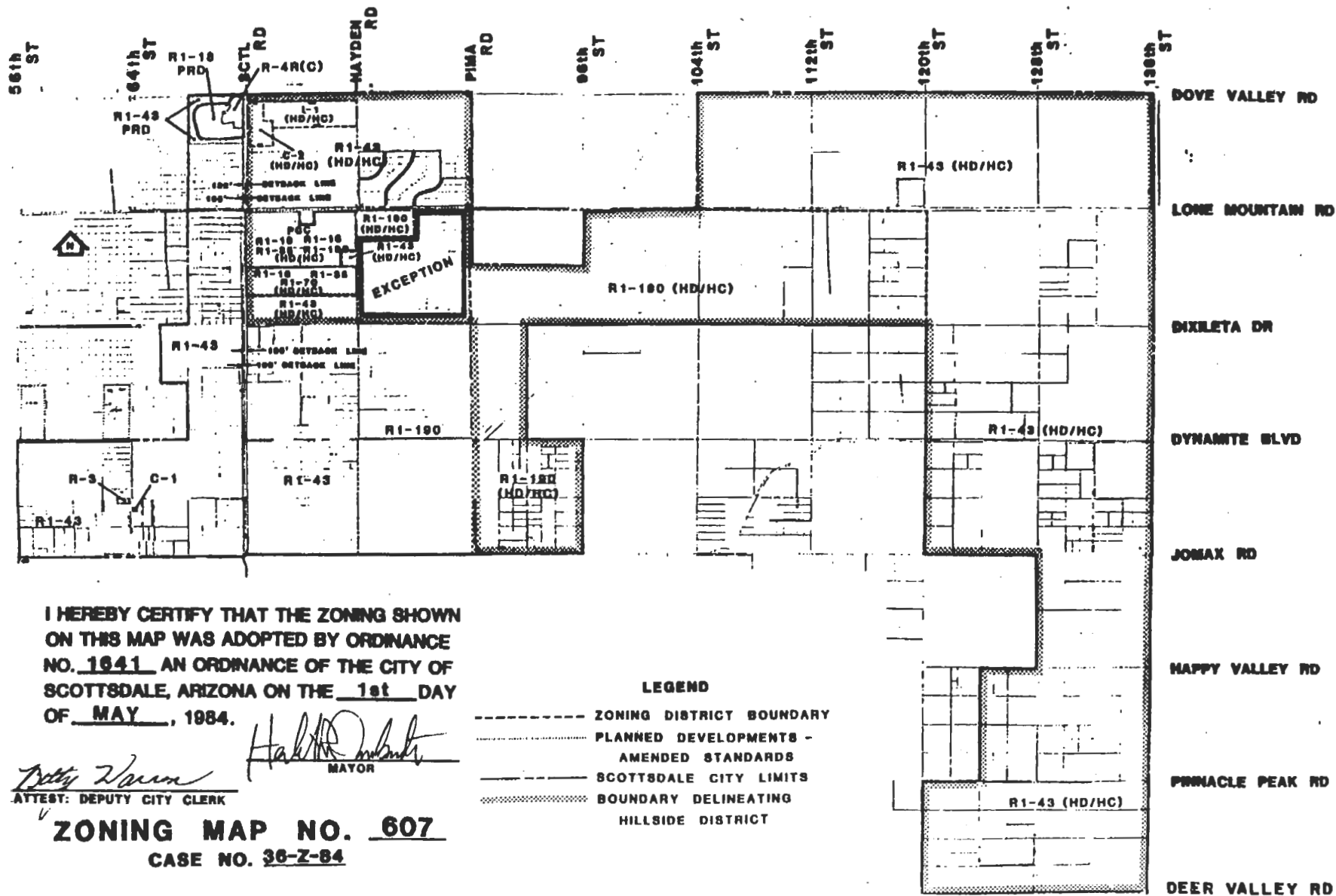
PASSED AND ADOPTED by the Council of the City of Scottsdale this 1st  
day of May 1984 .

  
Herbert R. Brinkwater, Mayor

Attest:  
Roy R. Pederson, City Clerk

By:   
Betty Warren, Deputy City Clerk

APPROVED AS TO FORM:  
  
William E. Farrell, City Attorney



**ATTEST: DEPUTY CITY CLERK**

**ZONING MAP NO. 607**  
**CASE NO. 36-Z-84**

### LEGEND

- ZONING DISTRICT BOUNDARY  
 PLANNED DEVELOPMENTS -  
 AMENDED STANDARDS  
 ----- SCOTTSDALE CITY LIMITS  
 BOUNDARY Delineating  
 HILLSIDE DISTRICT



# project data

building area:	
market	50,000 sf
shops	26,080 sf
pods	24,000 sf
total	100,080 sf

parking:	
required by City:	
(1:250 SF) x 100,080 SF	401 spaces
required by anchor tenant:	540 spaces
provided	506 spaces

accessible parking:	
required (4% of total)	20 spaces
provided	20 spaces

site data:	
gross site area:	~740,510 sf
net site area:	~633,010 sf
	~14.5 acres
building coverage:	15.9%

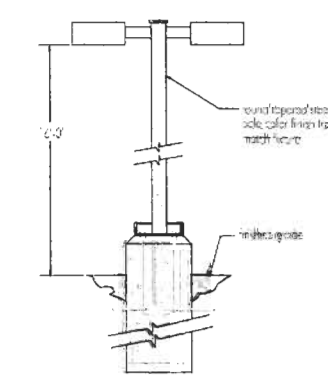
courtyard area:	
required (1% of 633,010 sf) =	6,330 sf
provided	43,280 sf (6.8%)

building heights:

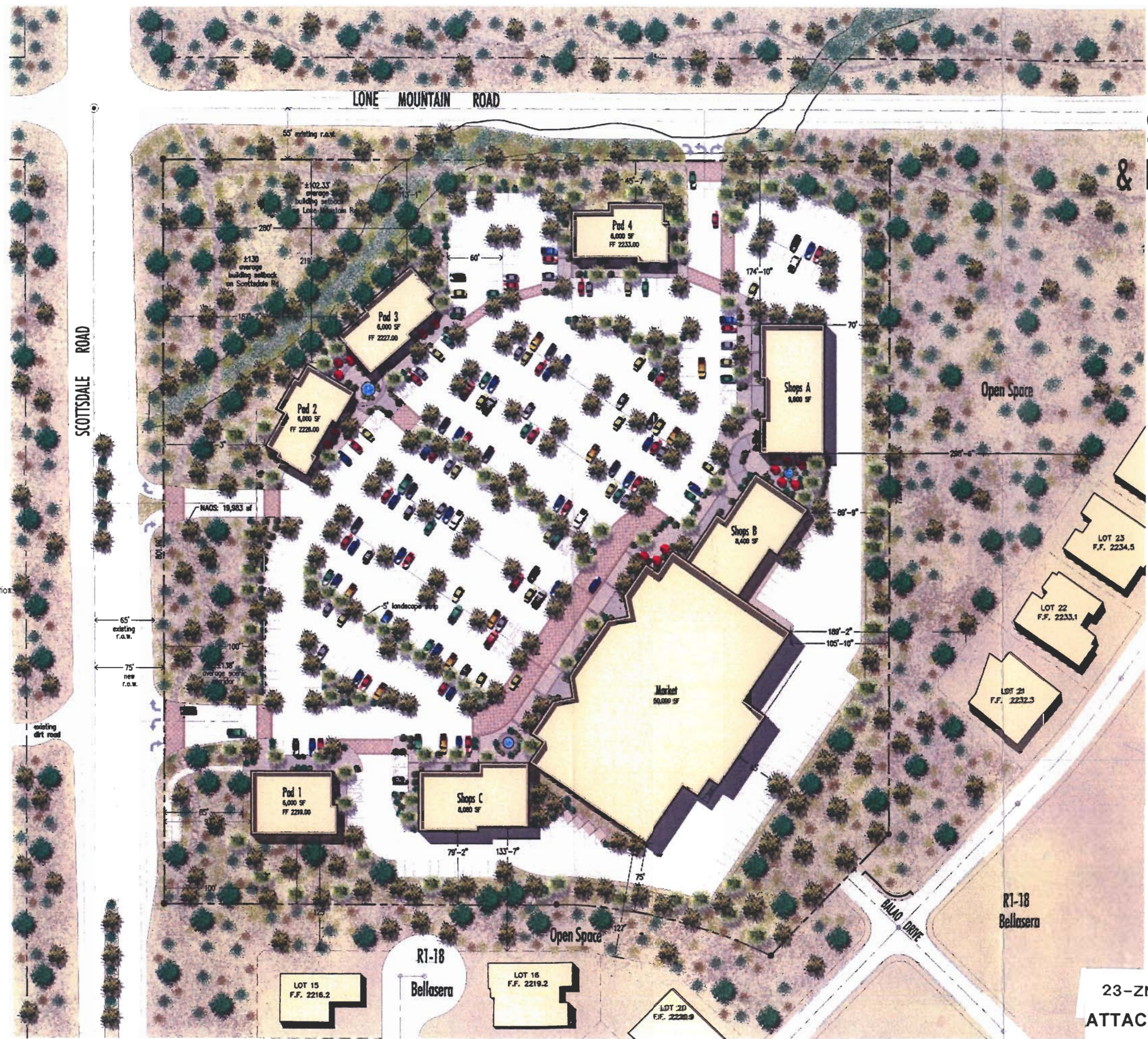
Market not to exceed 28' above finish floor elevation

Shops & pods not to exceed 24' above finish floor elevation

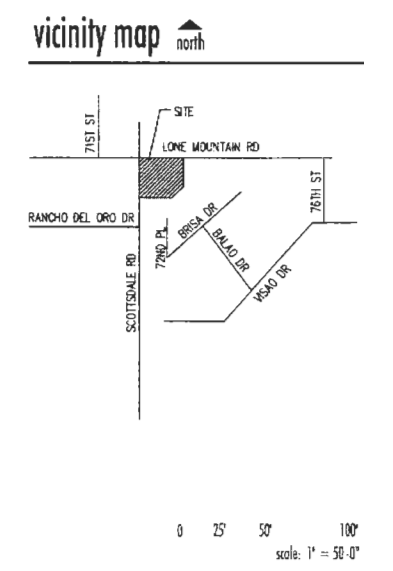
NAOS:	
required:	±156,380 sf
provided:	±180,661 sf



TYPICAL LIGHTING POLE DETAIL  
NO SCALE



## SCOTTSDALE, ARIZONA SEC Scottsdale Road & Lone Mountain Road for Pederson GROUP, INC.



conceptual site plan  
24019  
10 AUGUST 2005

23-ZN-2004  
ATTACHMENT #12

ELLERMANN,  
SCHICK &  
BRUNO  
ARCHITECTURE PLANNING

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